

**KILLARNEY-TURTLE MOUNTAIN PLANNING OFFICE
APPLICATION FOR DEVELOPMENT PERMIT**

DEVELOPMENT PERMIT NO. VO 06-24
RECEIPT NO. 315263
ROLL NO. 406800.000
BUILDING PERMIT NO. (BP18-24/DP 40-24)

The undersigned hereby applies for a Permit to develop a land use(s) in accordance with this application and all applicable planning by-laws.

Applicant Timothy & Jean Lawson	Phone 204-523-7110
Address Box 344 Killarney, MB R0K 1G0	

Contractor SELF	Phone
Address	

Registered Owner Timothy & Jean Lawson	Phone 204-523-7110
Address Box 344 Killarney, MB R0K 1G0	

Construct <input type="checkbox"/>	Alter <input type="checkbox"/>	Extend <input type="checkbox"/>	Renovate <input type="checkbox"/>	Locate <input checked="" type="checkbox"/>
Repair <input type="checkbox"/>	Occupy <input type="checkbox"/>	Demolish <input type="checkbox"/>	Remove <input type="checkbox"/>	

Civic # 307	Street Ellis Drive	Side North
Legal Desc.:	Section Lot(s) 3/4	Township Block 3
		Range Plan 595
		R.M. Town Killarney

KAPD DEVELOPMENT PLAN DESIGNATION:

Property Zoned: Residential Serviced Zone		Abutting Properties Zoned: Open Space	
Land Use:	Existing <input type="checkbox"/> Single Family Dwelling	Permitted <input type="checkbox"/>	Conditional <input type="checkbox"/>
Rezoning Required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	By-law #:	Date:
Conditional Use Order Required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Order #:	Date:
Variation Order Required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Order #:	Date:

Size of Lot 70' Frontage	Area of Lot	Width & Area Required 50'/5000sq ft	Lane <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
No. of Storeys 1	No. of Rooms	No. of Dwelling Units 1	Basement <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Size of Building 192 sq ft		Existing Structure(s) on site House	
Yards Required	Front 25	Sides () 3 () 3	Rear 3
Parking Spaces Req'd.	Other Setbacks (i.e. hghways/sewage lagoons/livestock operations):		

REMARKS & CONDITIONS OF APPROVAL

Application for a variance to reduce the required side yard setback from 3' down to 0' to allow for the placement of a new 16'x12' Wood framed storage shed within the rear yard of the above property.

See attached site plan. letter of intent.

VO 06-24 \$350.00

August 8, 2024

Municipality of Killarney-Turtle Mountain
415 Broadway Ave.
Killarney, MB.

Dear Councillors.

I am writing this letter in support of a variance to my property line for the purpose of building a shed. Having received a building permit, in which the bylaw required the building to be set 33" inside my property line, when I marked out the placement I found that my neighbour's fence was angled from 14" at the back of the property up to 28" inside the property line where the south edge of the shed would be. I know this to be true because I ran a string line from the survey pins that divide our properties.

As a result of the placement of this fence, there would be a distance of 5' 1" from the fence to my shed. This would create a large space between the shed and the fence. This distance would be a waste of space, and difficult to maintain.

In addition, the shed would be so far from the fence that it would infringe on a garden bed that runs beside my deck. There would be less than 2 feet between the front corner of the shed and garden bed, making it difficult to mow the grass.

I have been in contact with my neighbour that owns the fence and he has no problem with the application and conditions of the variance.

Thank you very much for your consideration of this variance.

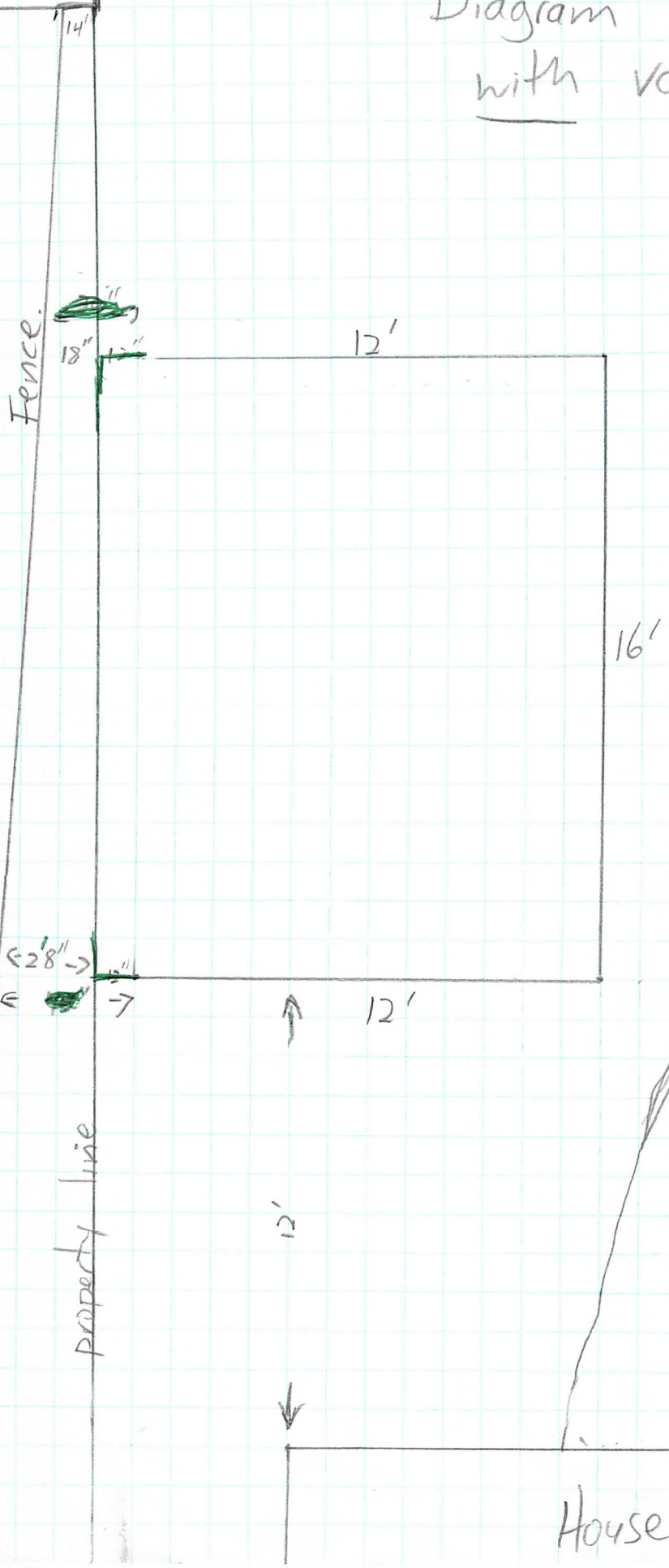
Sincerely yours,



Tim Lawson

shed

Diagram with variance



It is still not going to look great because of the terrible angle of the fence. At least there won't be so much lawn to maintain between the shed and fence. Neighbour has been talked to and is fine with it.