

**KILLARNEY-TURTLE MOUNTAIN PLANNING OFFICE
APPLICATION FOR DEVELOPMENT PERMIT**

DEVELOPMENT PERMIT NO. VO 07-24
RECEIPT NO. 315267
ROLL NO. 438391.000
BUILDING PERMIT NO. N/A

The undersigned hereby applies for a Permit to develop a land use(s) in accordance with this application and all applicable planning by-laws.

Applicant BRIDGES BROS HOLDINGS LTD	Phone 204-761-0530
Address Site 240 Box 54 Brandon, MB R7A 5Y3	

Contractor SAME	Phone
Address	

Registered Owner BRIDGES BROS HOLDINGS LTD	Phone
Address	

Construct <input type="checkbox"/>	Alter <input type="checkbox"/>	Extend <input type="checkbox"/>	Renovate <input type="checkbox"/>	Locate <input checked="" type="checkbox"/>
Repair <input type="checkbox"/>	Occupy <input type="checkbox"/>	Demolish <input type="checkbox"/>	Remove <input type="checkbox"/>	

Civic # 780	Street Young Street	Side
Legal Section	Township	Range
Desc.: Lot(s) 16/17	Block	Plan 52558
	Town Killarney	R.M.

KAPD DEVELOPMENT PLAN DESIGNATION:

Property Zoned: Residential Serviced Zone	Abutting Properties Zoned: Open Space
Land Use:	Existing SFD
Rezoning Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Permitted
Conditional Use Order Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	By-law #: Date:
Variation Order Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Order #: Date:
	Order #: VO 07-24 Date:

Size of Lot 35' x 120'	Area of Lot 4200 sq ft	Width & Area Required 50' 5000sq ft	Lane <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
No. of Storeys 1	No. of Rooms 4	No. of Dwelling Units 1	Basement <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Size of Building 1200 sq ft	Existing Structure(s) on site no		
Yards Required	Front 25	Sides () 0 () 5	Rear 25
Parking Spaces Req'd. 1.25	Other Setbacks (i.e. hghways/sewage lagoons/livestock operations):		

REMARKS & CONDITIONS OF APPROVAL

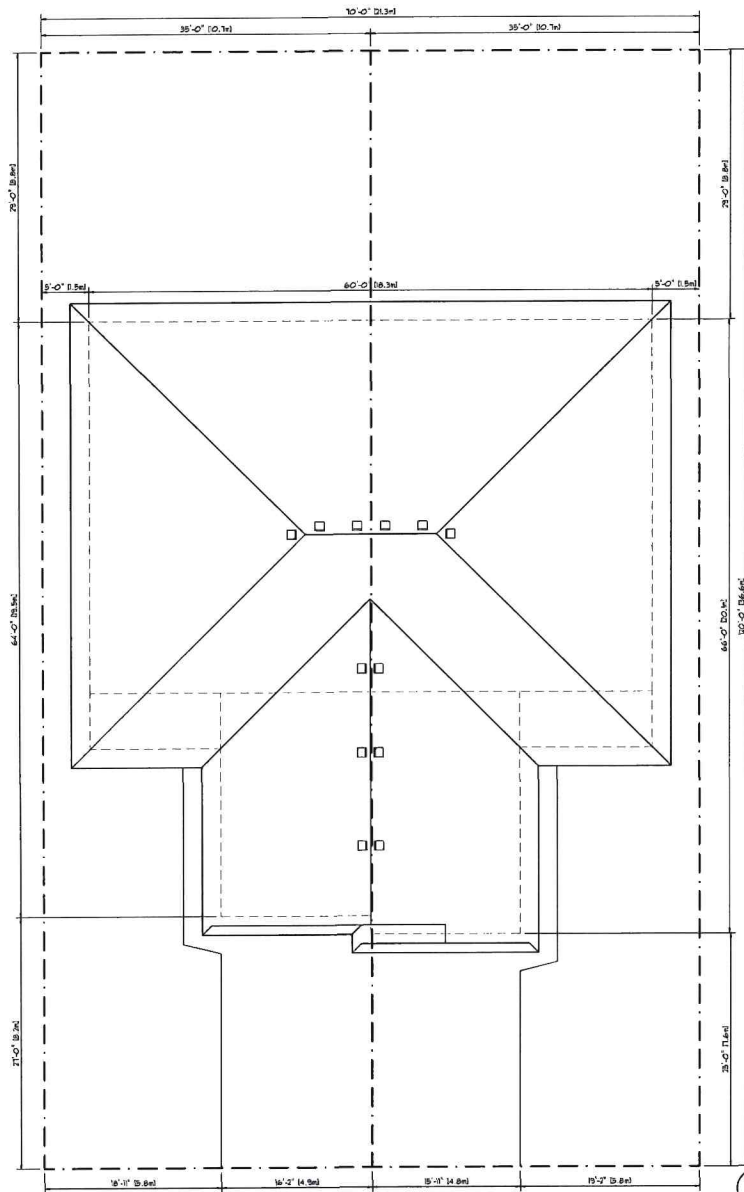
Variation application to reduce the sideyard setback from 5 feet down to 0 feet.
 To reduce the minimum site area from 5000sq ft down to 4200sq ft. to reduce the minimum site width from 50' down to 35'
 to allow for the construction of new single unit row housing.
 See attached plans & SAM.

Development Officer Jesse Hansen	Fee Payable: \$ 350.00
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Date Approved: September 5 2024 Approved By: *Jesse Hansen*


I undertake to observe and perform the provisions of the Manitoba Planning Act and regulations, all applicable municipal by-laws, including any Development Plans or Zoning By-laws and development agreements entered into, and all specifications or instructions issued by duly authorized officers in respect of the work incidental to the subject matter of this application and if the permit involved or affects the placing of or the position of any building or structure on or in respect of land to do all work so that the building or structure will be wholly within the boundaries of the lot or parcel of land indicated in this application and to indemnify the Municipality against all losses, costs, charges or damages caused by or arising out of anything done pursuant to any permit issued under this application.

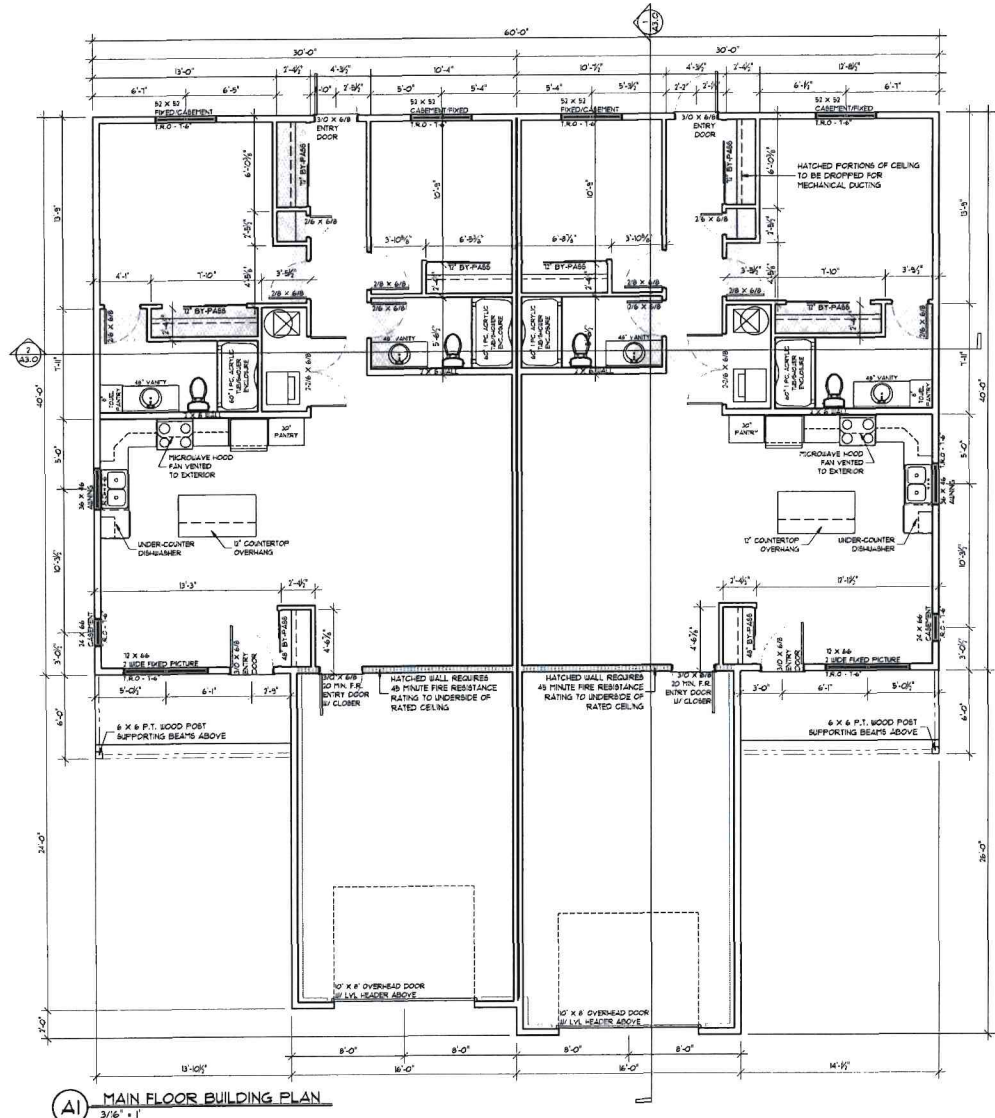
APPLICANT: _____ DATE: _____



A SITE PLAN
1/8" = 1'

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PROJECT NAME: KILLARNEY DUPLEX		ENGINEER STAMP:																	
SHEET NUMBER: AO.0		ARCHITECT STAMP:																	
SHEET TITLE: SITE PLAN		 22 FERREWOOD CIRCLE BIRMINGHAM, ALABAMA 35244-2200 TEL: 205.948.1100 FAX: 205.948.1100 WWW.YBRDESIGN.COM																	
DESIGNED BY: R.B.	APPROVED BY:	ALL MEASUREMENTS TO BE FIELD VERIFIED BY GENERAL CONTRACTOR. ALL DIMENSIONS TO BE REPORTED IN WRITING TO DESIGNER.																	
DATE: 2024	SCALE: AS SHOWN	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	REVISIONS	BY	DATE												
NO.	REVISIONS	BY	DATE																
FILE NUMBER: 2024_001																			



(A1) MAIN FLOOR BUILDING PLAN
3/16' ± 1'

GENERAL NOTES:

1. ALL CONCRETE BELOW GRADE REQUIRES DAMP-PROOFING AS PER ART. 9.3.3.2 OF THE MANITOBA BUILDING CODE 2020.
2. SMOKE ALARMS SHALL BE INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE SMOKE ALARM, AS PER ART. 9.10.10.4 OF THE NBC 2020.
SMOKE ALARMS MUST BE INSTALLED ON EVERY FLOOR LEVEL, INCLUDING BASEMENTS THAT IS 24" OR MORE ABOVE OR BELOW THE ADJACENT FLOOR LEVEL. SMOKE ALARMS ARE LOCATED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STORY AS PER ART. 9.10.10.3 OF THE NBC 2020. DISTANCE FROM ANY POINT ON A FLOOR LEVEL TO A SMOKE ALARM SHALL NOT EXCEED 45'.
SMOKE ALARMS SHALL CONFORM TO CAN / UL C-5531.
3. A CARBON MONOXIDE ALARM IS REQUIRED IN A RESIDENTIAL OCCUPANCY THAT SHARES A WALL OR FLOOR/CEILING ASSEMBLY WITH A STORAGE GARAGE OR THAT IS ADJACENT TO AN ATTIC OR CRAWL SPACE TO WHICH THE STORAGE GARAGE IS ADJACENT. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED AS PER ART. 9.3.3.1.9 OF NBC 2020.
4. EAVES/TROUGH WITH DOWNSPOUTS AND EXTENSIONS ARE REQUIRED TO DRAIN WATER AWAY FROM THE BUILDING. THE FINISHED GRADE AROUND THE BUILDING SHALL BE SLOPED AWAY FROM THE BUILDING TO HELP IN THE DRAINAGE OF WATER.
5. VENTILATION REQUIREMENTS, AS PER ART. 9.3.1 NBC 2020
-THE OUTDOOR AIR SUPPLY DUCT MUST BE CONNECTED TO THE RETURN AIR PLENUM NOT LESS THAN 10' UPSTREAM OF THE FURNACE OR HAVE AN ACCEPTABLE TRIVING DEVICE.
-THE PRINCIPLE EXHAUST FAN MUST BE CONTROLLED BY A MANUAL SWITCH LOCATED CENTRALLY IN THE DWELLING UNIT AND CLEARLY MARKED "VENTILATION FAN", AND THE CONTROL MUST INCLUDE PROVISIONS TO ALLOW REDUCTION OF THE FAN'S FLOW TO WITHIN 50% OF THE TOTAL VENTILATION CAPACITY.
-BATHROOM AND BEDROOM DOORS REQUIRE AN UNDER CUT OF 1/2" OF AN INCH.
-THE KITCHEN PRINCIPAL EXHAUST DUCT IS REQUIRED TO BE FITTED WITH A GREASE FILTER.
6. ATTIC ACCESS HATCH REQUIRED - 20" X 36" MIN. DIMENSIONS AS PER ART. 9.3.2.1 OF THE NBC 2020 (LOCATION DETERMINED BY OWNER/CONTRACTOR).
7. FABRICATOR'S DRAWINGS OF FLOOR AND ROOF SYSTEM CERTIFIED BY A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN MANITOBA WILL BE PROVIDED.
8. ALL BEDROOM WINDOWS ARE REQUIRED TO PROVIDE AN UNOBSTRUCTED OPENING WITH AREA NOT LESS THAN 3.8FT² AND NO DIMENSION LESS THAN 19" AS PER ART. 9.3.10.1 OF THE MANITOBA BUILDING CODE 2020.
9. LINTELS SUBJECT TO CONCENTRATED LOAD TO BE DESIGNED & SUPPLIED BY TRUSS MANUFACTURER.
10. FLOORS ON GROUND SHALL BE EQUIPPED WITH A ROUGH IN FOR A SUBFLOOR DEPRESSURIZATION SYSTEM AS PER ART. 9.3.13.3 OF THE NBC 2020. CONSISTS OF A 4" PIPE INSTALLED THROUGH THE FLOOR, TO THE CENTER OF THE FLOOR AND CAPPED ABOVE THE FLOOR WITH THE CAP LABELED "DEPRESSURIZATION SYSTEM".

ARCHITECT STAMP

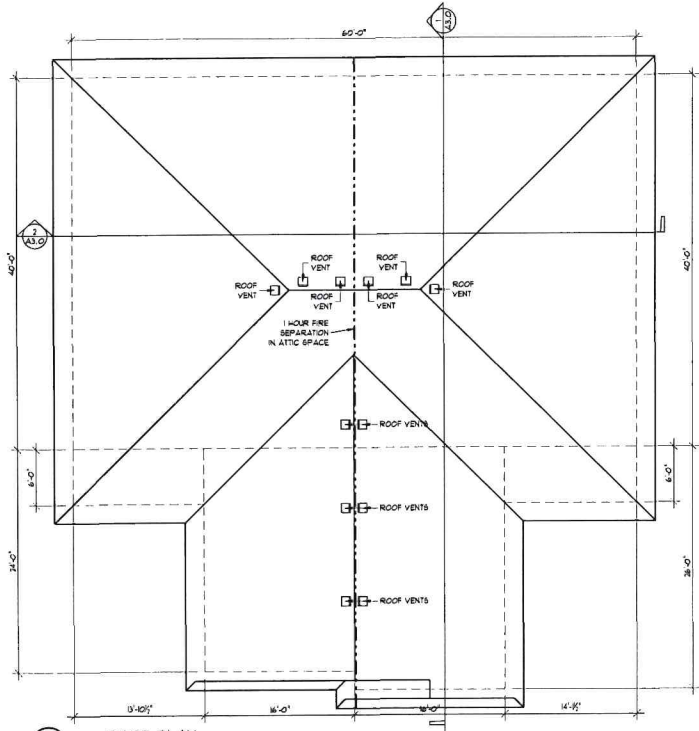
ENGINEER STAMP



DESIGN BY: **R.B.**
APPROVED BY: _____
ALL PREPARATIONS TO BE FIELD VERIFIED BY GENERAL CONTRACTOR. ALL DIMENSIONS TO BE REPORTED IN WRITING TO DESIGNER.

PROJECT NAME	KILLARNEY DUPLEX
SHEET NAME	MAIN FLOOR PLAN
REVISIONS	GENERAL NOTES
DATE	2024-03-15
BY	R.B.
CHECKED	R.B.
DATE	2024-03-15

SHEET NUMBER: **A1.0**
FILE NUMBER: 2024.001



A1 ROOF PLAN
1/8" = 1'

WALL TYPES

- WT1**
EXTERIOR WOOD FRAME WALL
- INTERIOR FINISH BY OWNER
- 5/8" DRYWALL
- #4 MILL C.G.S.B. RATED POLY V.R.
- R22 BATT INSULATION BETWEEN STUDS
- 2" X 6 WOOD STUDS @ 24" O.C. C/J
- SOLID BLOCKING MID SPAN OF WALL
- STUDS 1'0" O"
- 5/8" O.S.B. SHEATHING
- APPROVED AIR & MOISTURE BARRIER
- EXTERIOR FINISH AS PER ELEVATION
- WT2**
GARAGE TO HOUSE WOOD FRAME WALL
- INTERIOR FINISH BY OWNER
- 5/8" DRYWALL
- #4 MILL C.G.S.B. RATED POLY V.R.
- R22 BATT INSULATION BETWEEN STUDS
- 2" X 6 WOOD STUDS @ 24" O.C. C/J
- SOLID BLOCKING MID SPAN OF WALL
- STUDS 1'0" O"
- 5/8" O.S.B. SHEATHING
- 5/8" TYPE 'X' DRYWALL
- WT3**
SITE SEPARATION WOOD FRAME WALL
- 5/8" TYPE 'X' DRYWALL
- 2" X 4 STUDS @ 24" O.C.
- 4" BATT INSULATION
- 4" AIR SPACE
- 4" BATT INSULATION
- 2" X 4 STUDS @ 24" O.C.
- 5/8" TYPE 'X' DRYWALL
- WALL TYPE U338 N.B.C. R5000 - A-9.10.3.1.A
- FIRE RESISTANCE RATING - 1 HR
- SOUND TRANSMISSION CLASS - 51

FLOOR TYPES

- FT1**
GARAGE FLOOR
- 5" REINFORCED CONCRETE SLAB C/J
- RADIANT HEATING PIPES
- 3" (R16.1) RIGID INSULATION (TAPE ALL JOINTS TO FORM V.R.)
- COMPACTED GRANULAR FILL
- FT2**
BUILDING SLAB FLOOR
- 5" REINFORCED CONCRETE SLAB C/J
- RADIANT HEATING PIPES
- 3" (R16.1) RIGID INSULATION (TAPE ALL JOINTS TO FORM V.R.)
- 4" MINIMUM 3/4" CRUSHED STONE (RADON MITIGATION LAYER)
- COMPACTED GRANULAR FILL
- FT3**
EXTERIOR PATIO FLOOR
- 5" REINFORCED CONCRETE SLABS
- 6" VOID FORM UNDER SLAB
- COMPACTED GRANULAR FILL

ROOF TYPES

- R1**
MAIN ROOF
- 30 YEAR LOW-SLOPE ASPHALT SHINGLES
- APPROVED ROOFING FELT
- 3/4" O.S.B. SHEATHING C/J H-CLIPS
- ENGINEERED ROOF TRUSSES
- R50 BLOWN INSULATION
- 6" MILL C.G.S.B. RATED POLY V.R.
- 5/8" TYPE 'X' DRYWALL
- ENERGY PERFORMANCE**
- R50 BLOWN INSULATION (BSU) R 50.0
- WOOD TRIMMING/INSULATION (W/I) R 0.0
- EFFECTIVE FRAMING/INSULATION R 49.55
- 5/8" TYPE 'X' DRYWALL R 0.95
- INDOOR AIR FILM R 0.68
- TOTAL ASSEMBLY R-VALUE R 50.18
- CEILING BELOW ATTICS REQUIRED
R-VALUE - R 49.7 (M.B.C. TABLE-9.36.2.6.-B)

ATTIC SEPARATION

- A1**
ATTIC SEPARATION ASSEMBLY
- 5/8" TYPE 'X' DRYWALL
- 2" X 3" MINIMUM WOOD STUDS
- 2" X 4" O.C. TURNED ON FLAT INSIDE
- STRUCTURAL GABLE
- TRUSS TURNED ON FLAT
- 5/8" TYPE 'X' DRYWALL
- FIRE RESISTANCE RATING:**
WALL DESIGN NO. - U338
FIRE RESISTANCE RATING - 1 HR

ARCHITECT STAMP

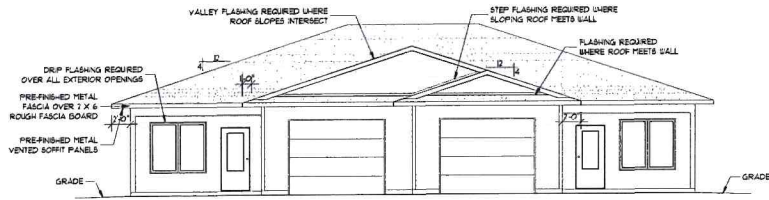
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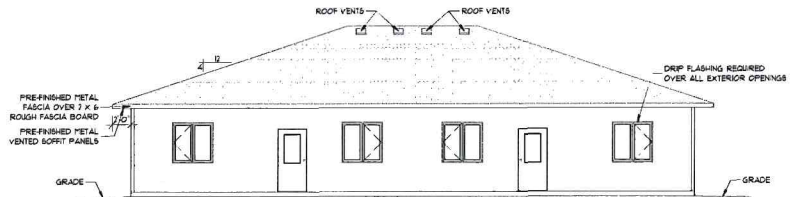
DRAWN BY: R.B.
APPROVED BY:

PROJECT NAME:	KILLARNEY DUPLEX
SHEET NAME:	ROOF PLAN
DATE:	25/05/24
SCALE:	AS SHOWN
BY:	R.B.
CHECKED BY:	R.B.
DATE:	25/05/24

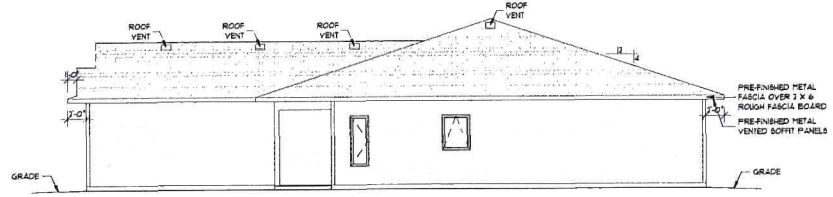
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A1.1
FILE NUMBER: 2024.001



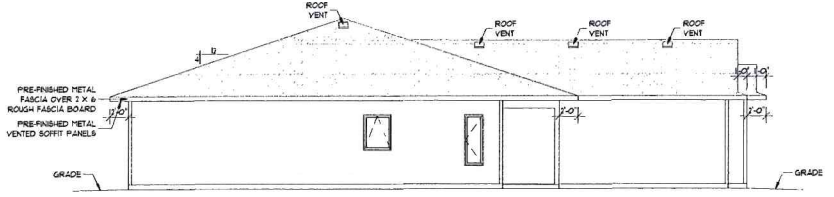
E1 FRONT EXTERIOR ELEVATION
1/8" = 1'



E2 REAR EXTERIOR ELEVATION
1/8" = 1'



E3 RIGHT EXTERIOR ELEVATION
1/8" = 1'



E4 LEFT EXTERIOR ELEVATION
1/8" = 1'

ARCHITECT STAMP

ENGINEER STAMP



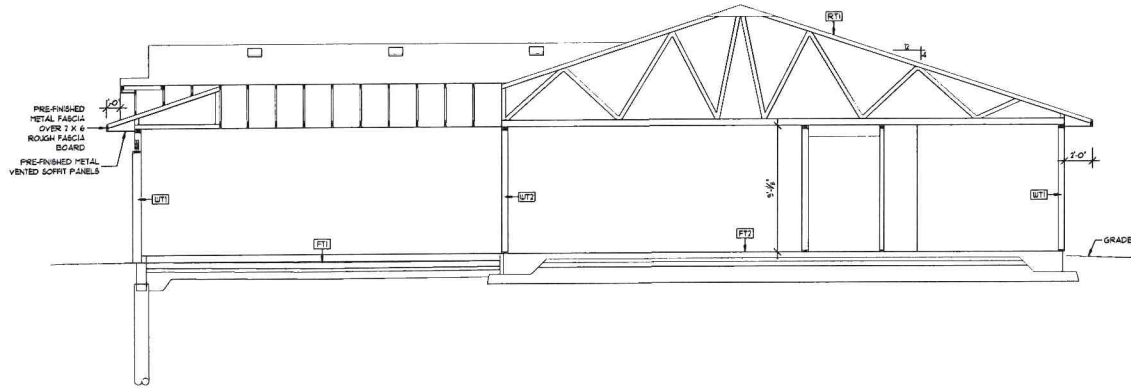
DRAWN BY: R.B.
APPROVED BY:

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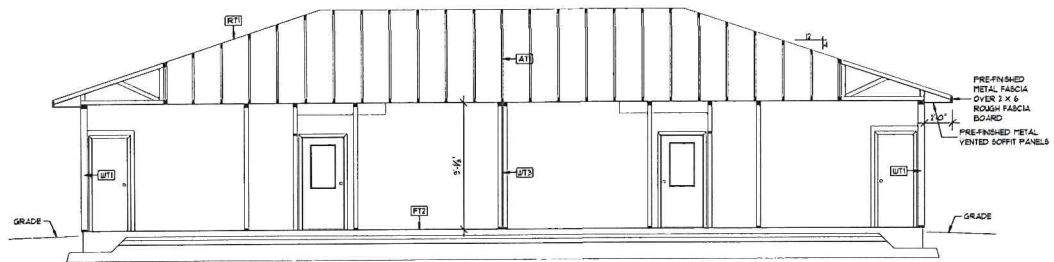
PROJECT NAME	KILLARNEY DUPLEX
SHEET NAME	EXTERIOR ELEVATIONS
DATE	REVISED FOR CLIENT REVIEW (1) PER LOG
SCALE	AS SHOWN
DATE	BY
SCALE	BY
DATE	BY
SCALE	BY

SHEET NUMBER:
A2.0

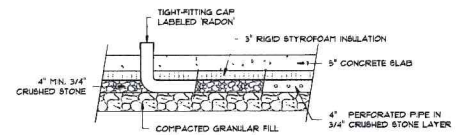
FILE NUMBER: 2024.001



1 BUILDING SECTION
3/16" = 1'



2 BUILDING SECTION
3/16" = 1'



3 DEPRESSURIZATION ROUGH-IN
1/2" = 1'

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ARCHITECT STAMP

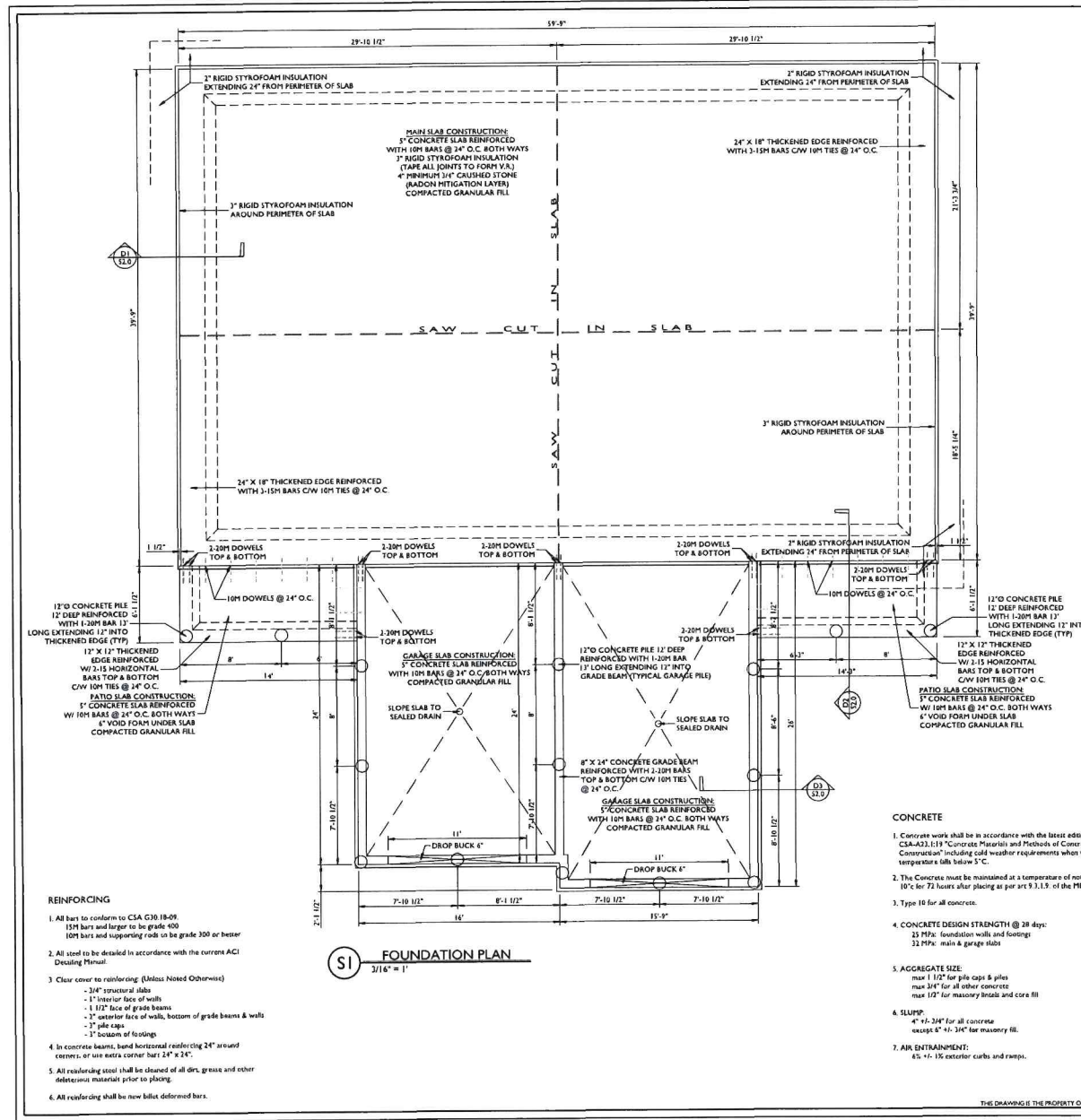
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APPROVED BY:
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VERIFIED BY GENERAL CONTRACTOR
AND/OR ARCHITECT PRIOR TO CONSTRUCTION.
ALL DIMENSIONS TO BE
REPORTED IN LISTING TO DESIGNER.

PROJECT NAME:	KILLARNEY DUPLEX
SHEET NAME:	BUILDING SECTIONS SCHEDULES
DATE:	REVISIONS
BY:	BY
BY:	BY
BY:	BY

SHEET NUMBER:
A3.0
FILE NUMBER: 2024_001



ARCHITECT STAMP:

ENGINEER STAMP:

YBR DESIGN
22 FLEMING RD. CHILMARK, ONTARIO M9B 1A2
TEL: 416-733-1177 FAX: 416-733-1178

PROJECT NAME: KILNARNEY DUPLEX

SHEET NAME: FOUNDATION PLAN

STRUCTURAL NOTES:

REVISIONS	BY	DATE
ISSUED FOR CLIENT REVIEW & PRICING	BT	11/11/20
REVISED FOR CLIENT REVIEW & PRICING	BT	11/11/20

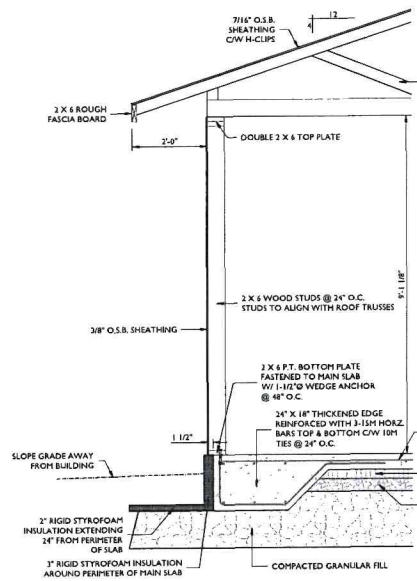
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ALL MEASUREMENTS TO BE HELD UNLESS NOTED OTHERWISE. DISCREPANCIES TO BE REPORTED IN WRITING TO DESIGNER.

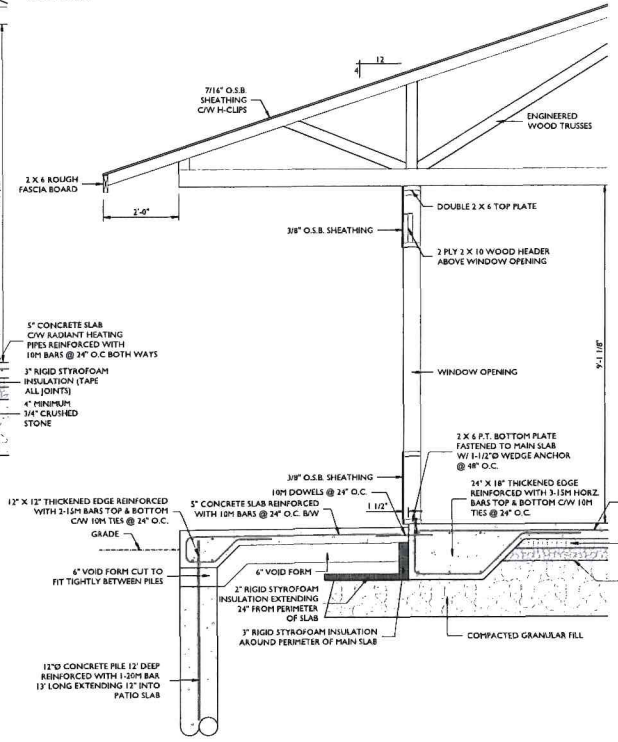
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FILE NUMBER: 2024.001

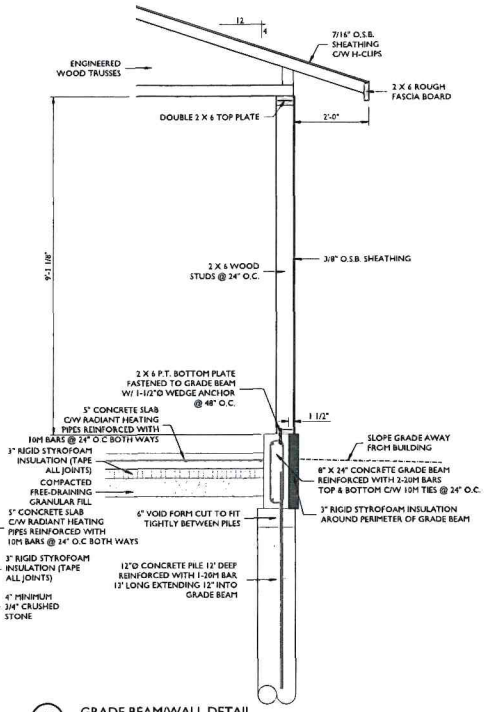
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D1 MAIN SLAB/EXTERIOR WALL DETAIL
1/2" = 1'



D2 PATIO SLAB/EXTERIOR WALL DETAIL
1/2" = 1'



D3 GRADE BEAM/WALL DETAIL
1/2" = 1'

ARCHITECT STAMP:

ENGINEER STAMP:



DRAWN BY: R.B.

APPROVED BY:

ALL DIMENSIONS TO BE FIELD VERIFIED BY GENERAL CONTRACTOR BEFORE CONSTRUCTION. DISCREPANCIES TO BE REPORTED IN WRITING TO DISPERSE.

PROJECT NAME: KILLARNEY DUPLEX

SHEET NAME: STRUCTURAL DETAILS

REVISIONS	BY	DATE
ISSUED FOR CLIENT REVIEW & PRICING	RY	11/24/23
REVISED	RY	12/05/23

SHEET NUMBER:

S2.0

FILE NUMBER: 2024.001

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